



Ralph Hassard

Lic # 16000076462

CRITERION HOME INSPECTIONS

Inspection Report

Example Bayridge

Property Address:

73rd Street

Brooklyn NY 11209



Table of Contents

[Cover Page.....1](#)

[Table of Contents.....2](#)

[Intro Page3](#)

[1 Exterior.....4](#)

[2 Roofing.....21](#)

[3 Interiors28](#)

[4 Ventilation31](#)

[5 Basement / Crawl space32](#)

[6 Heating.....35](#)

[7 Air Conditioning.....38](#)

[8 Plumbing System.....39](#)

[9 Electrical System41](#)

[10 Structural Components50](#)

[Summary.....52](#)

[Invoice.....56](#)

[Back Page.....57](#)

Date: 3/10/2022	Time: 03:30 PM	Report ID: 73rd Street
Property: 73rd Street Brooklyn NY 11209	Customer: Example Bayridge	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Monitor and Maintain (MM) = This item should be monitored for worsening condition and maintained to prevent the need for replacement or repair.

Undetermined (UDT) = The condition of this item is undetermined.

Safety (S) = This item represents a safety hazard.

Requires Professional Evaluation (RPE) = This item requires evaluation by a lic contractor to for a complete diagnosis and required repairs

Type of building:

Multi-family

Approximate age of building:

approx 100 years

1. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Material:

Full brick

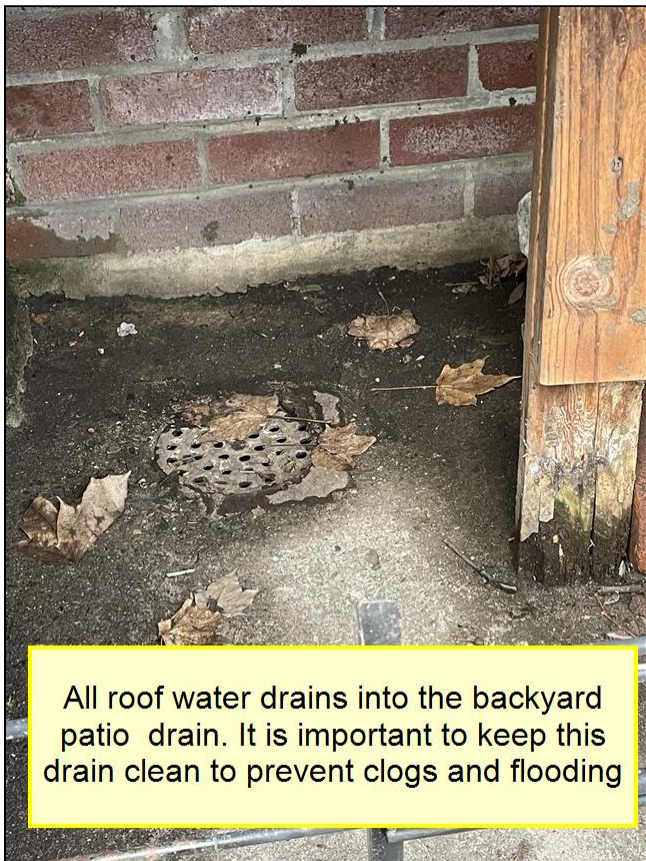
Items

1.0 Grading, Drainage

Comments: Monitor and Maintain

All roof water drains into the backyard patio drain. It is important to keep this drain clean to prevent clogs and flooding

Front stairwell does not have a drain at the lower landing



1.0 Item 1 (Picture)

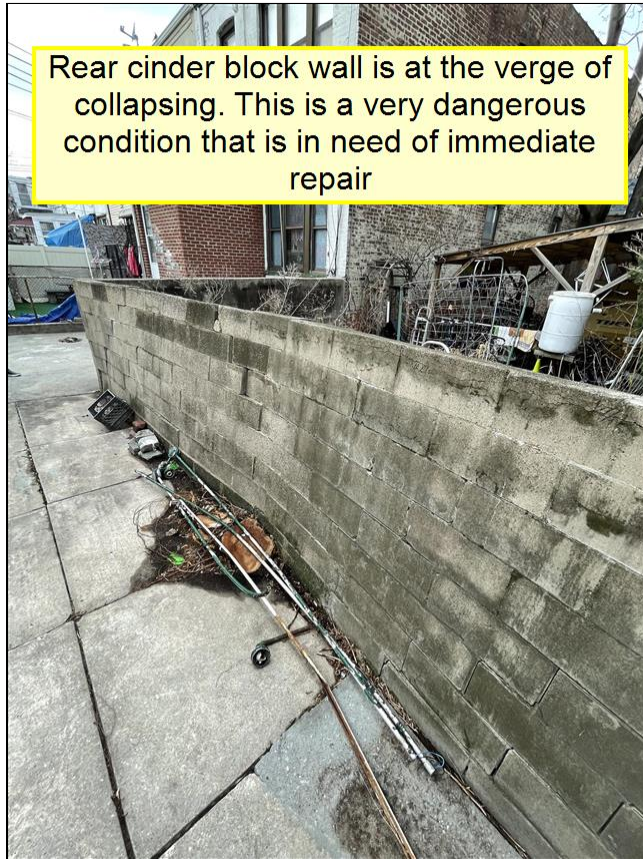


1.0 Item 2 (Picture)

1.1 Retaining walls

Comments: Repair or Replace

Rear cinder block wall is at the verge of collapsing. This is a very dangerous condition that is in need of immediate repair



1.1 Item 1 (Picture)

1.2 Vegetation- trees , shrubs effecting property and building

Comments: Monitor and Maintain

Neighboring tree is growing into the building and is in need of pruning

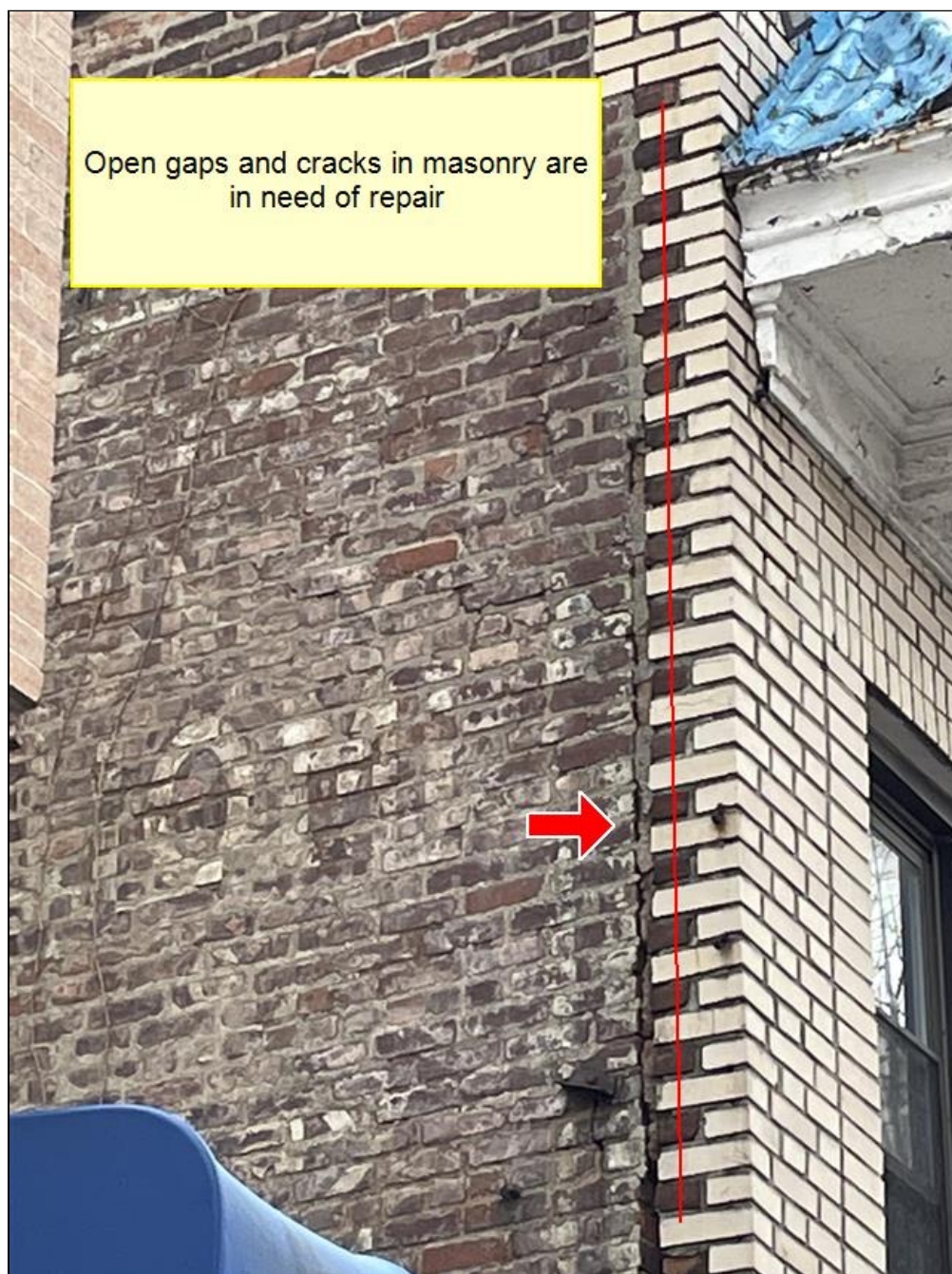


1.2 Item 1 (Picture)

1.3 General Exterior Masonry

Comments: Repair or Replace

Open gaps and cracks in masonry are in need of repair



1.3 Item 1 (Picture)



1.3 Item 2 (Picture)



1.3 Item 3 (Picture)



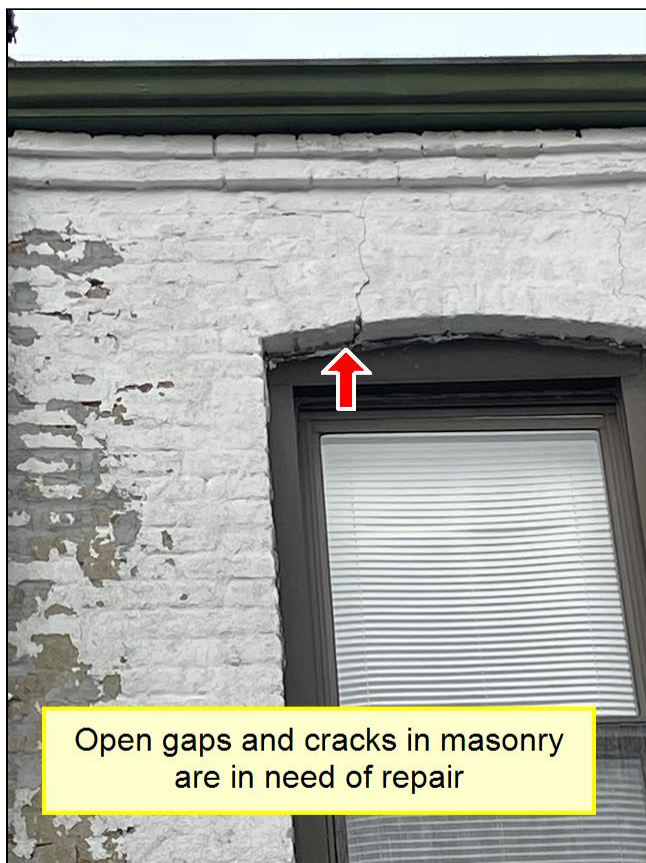
1.3 Item 4 (Picture)



1.3 Item 5 (Picture)



1.3 Item 6 (Picture)



1.3 Item 7 (Picture)

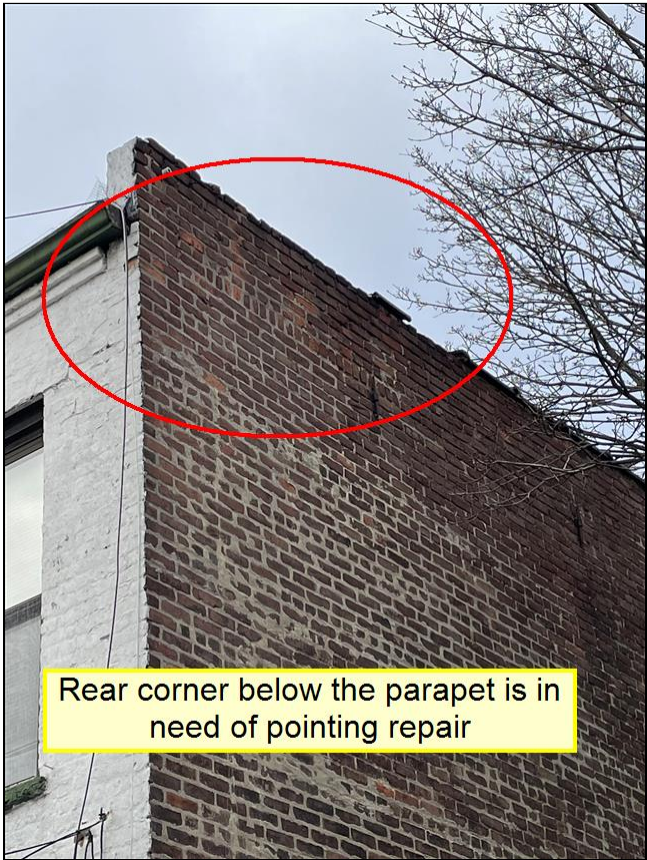
1.4 Brick Pointing

Comments: Repair or Replace

Brick pointing is in overall good condition, but rear corner below the parapet is in need of pointing repair



1.4 Item 1 (Picture)

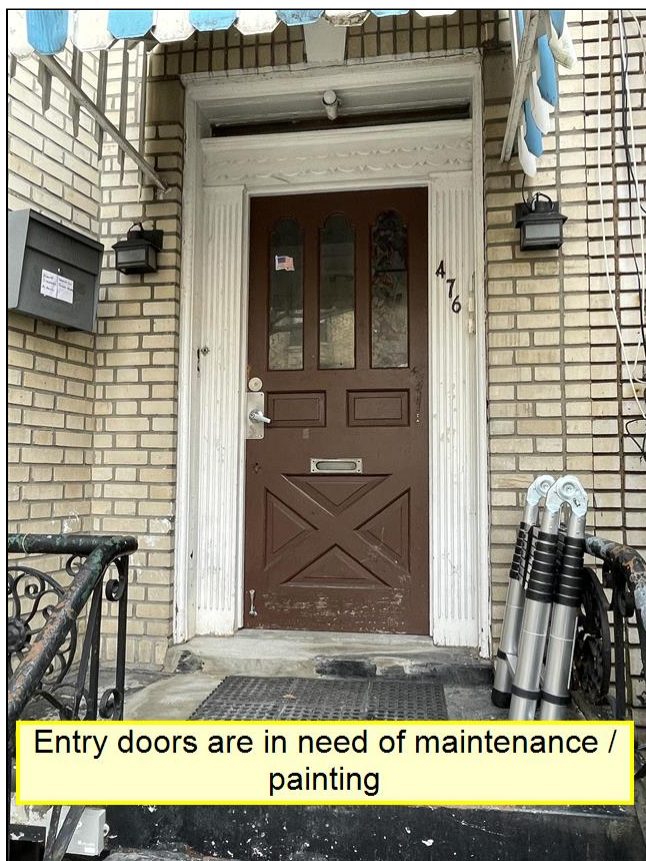


1.4 Item 2 (Picture)

1.5 Exterior Doors and Trim

Comments: Monitor and Maintain

Entry doors are in need of maintenance / painting



1.5 Item 1 (Picture)

1.6 Exterior window frames and sashes

Comments: Repair or Replace

Rear basement windows frames are deteriorating and are in need of restoration or replacement



Rear basement windows frames are deteriorating and are in need of restoration or replacement

1.6 Item 1 (Picture)



Rear basement windows frames are deteriorating and are in need of restoration or replacement

1.6 Item 2 (Picture)

1.7 Exterior window Sills and Lintels

Comments: Repair or Replace, Monitor and Maintain

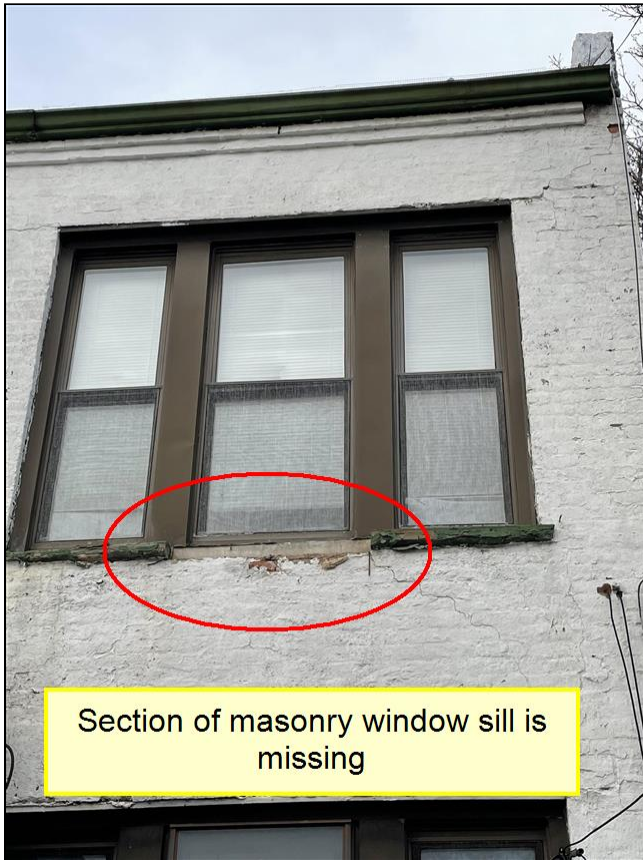
Steel window lintels are rusting and beginning to sag, This is not a structural at this time, but they should be monitored and replacement should be part of a long term maintenance schedule. At this time they should be painted to prevent further corrosion

Section of rear 2nd floor masonry window sill is missing

Lower rear masonry window sill is deteriorating



1.7 Item 1 (Picture)



Section of masonry window sill is missing

1.7 Item 2 (Picture)



Lower rear window sill is deteriorating

1.7 Item 3 (Picture)

1.8 Stoop- Exterior Staircases

Comments: Repair or Replace

Stoop wall is in poor condition and is in need of repair

Lower level staircase has cracks and is in need of repair



1.8 Item 1 (Picture)



1.8 Item 2 (Picture)

1.9 Railings and Iron work
Comments: Monitor and Maintain

Iron work railings have significant rust and are in need maintenance/ painting



1.9 Item 1 (Picture)



1.9 Item 2 (Picture)



1.9 Item 3 (Picture)

1.10 Cornice

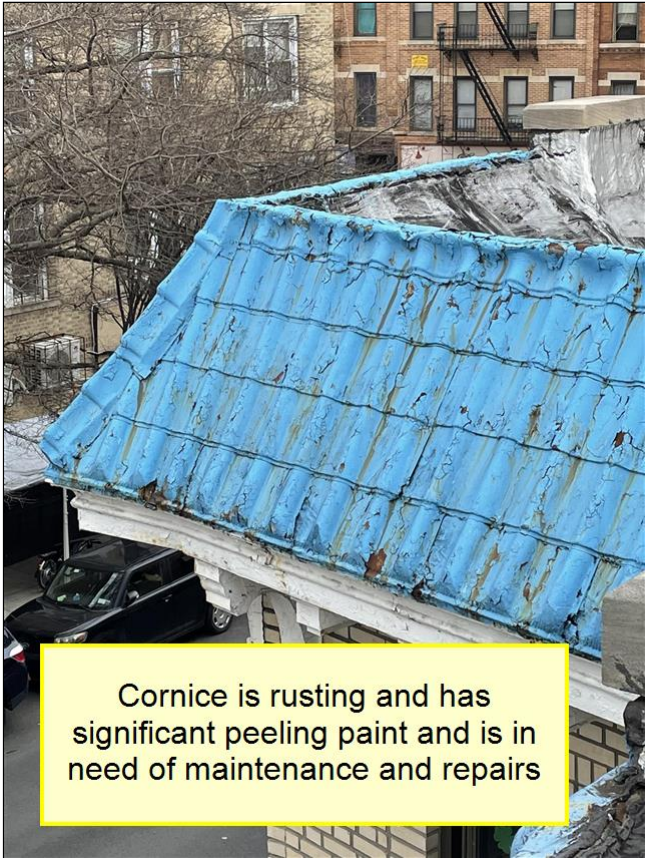
Comments: Repair or Replace, Monitor and Maintain

Cornice is rusting and has significant peeling paint and is in need of maintenance and repairs



Cornice is rusting and has significant peeling paint and is in need of maintenance and repairs

1.10 Item 1 (Picture)



Cornice is rusting and has significant peeling paint and is in need of maintenance and repairs

1.10 Item 2 (Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Roof Covering:	Viewed roof covering from:	Sky Light(s):
Modified bitumen	Walked roof	Two
Chimney (exterior):		
Brick		

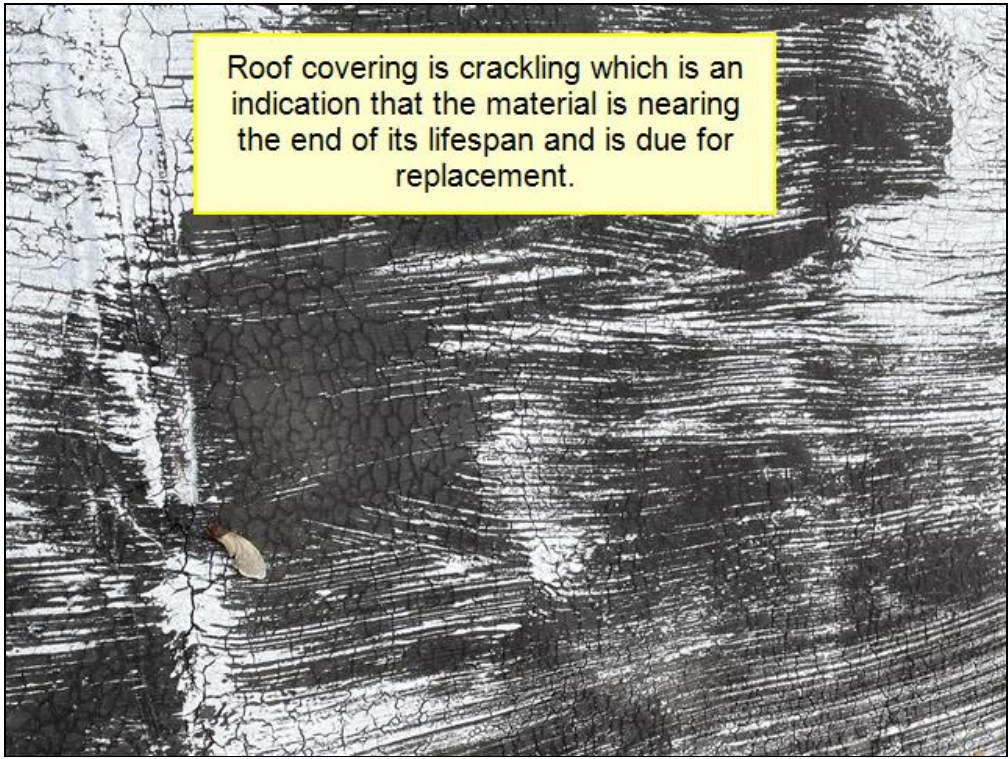
Items

2.0 Roof Coverings

Comments: Repair or Replace, Monitor and Maintain

(1) Roof covering is crackling which is an indication that the material is nearing the end of its lifespan and is due for replacement.

An application of roofing cement at all seams and an application of aluminium coating can help extend the life of the roof, but roof replacement should be part of a building maintenance schedule



2.0 Item 1 (Picture)

(2) Rear section of the roof has low spots which create pooling water. Pooling water will accelerate the break down of the roofing materials and will be an area that will be prone to leaking. This area should be monitored and maintained

(3) Roof covering is crackling which is an indication that the material is nearing the end of its lifespan and is due for replacement.

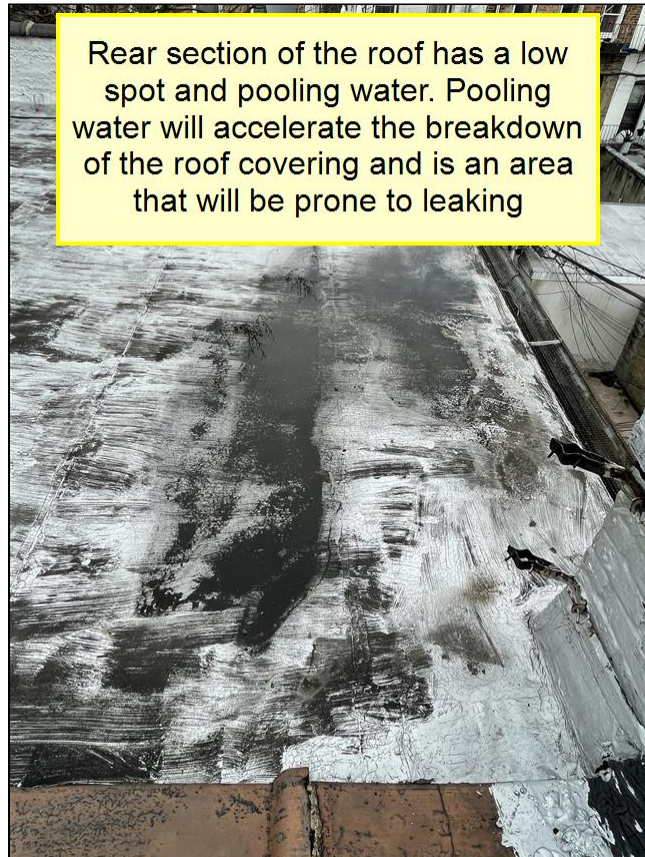
An application of roofing cement at all seams and an application of aluminium coating can help extend the life of the roof, but roof replacement should be part of a building maintenance schedule

(4) Rear section of the roof has low spots which create pooling water. Pooling water will accelerate the break down of the roofing materials and will be an area that will be prone to leaking. This area should be monitored and maintained

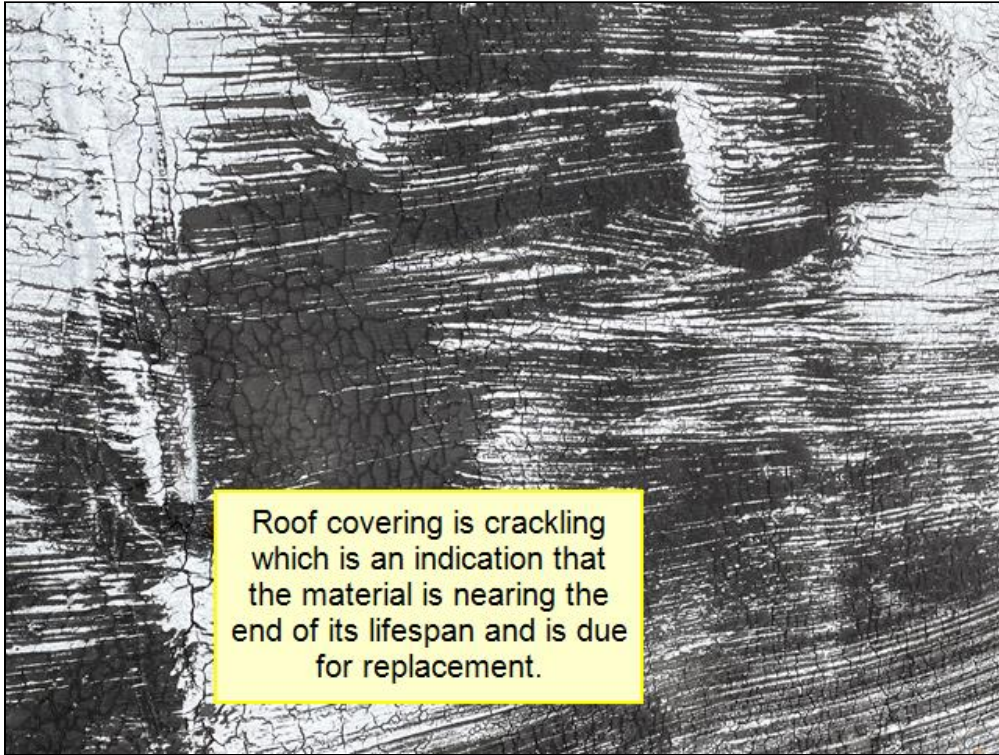
(5) Roof covering is crackling which is an indication that the material is nearing the end of its lifespan and is due for replacement.

An application of roofing cement at all seams and an application of aluminium coating can help extend the life of the roof, but roof replacement should be part of a building maintenance schedule

Rear section of the roof has a low spot and pooling water. Pooling water will accelerate the breakdown of the roof covering and is an area that will be prone to leaking



2.0 Item 2 (Picture)



2.0 Item 3 (Picture)

2.1 Chimneys

Comments: Repair or Replace

Interior chimney brickwork is in poor condition and is in need of restoration,

Falling debris into the chimney can clog flue pipe and boiler exhaust and potentially cause the release of carbon monoxide into the living space



2.1 Item 1 (Picture)

2.2 skylights

Comments: Inspected

2.3 Parapet

Comments: Repair or Replace

Section of coping stones are missing at the rear corner of the building

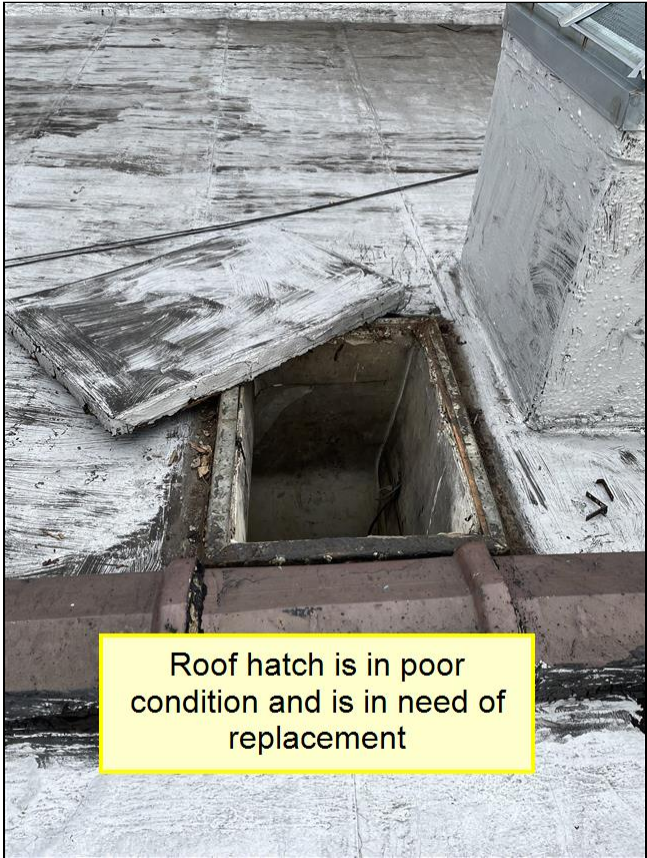


2.3 Item 1 (Picture)

2.4 Roof hatch door

Comments: Repair or Replace

Roof hatch door should be upgraded to a metal hatch with a hydraulic lift when renovations are performed



2.4 Item 1 (Picture)

2.5 Roof railing

Comments: Not Present

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Floor Covering(s):

- Wood
- Tile
- Laminate Flooring

Items

3.0 Note

Comments: Undetermined

Rear top floor apartment was inaccessible and was not inspected

3.1 Ceiling & Walls

Comments: Inspected, Repair or Replace

Ceilings and walls are in fair condition but show l signs of wear and tear and require painting and plaster repairs

3.2 Flooring

Comments: Inspected, Repair or Replace, Undetermined

Flooring was in overall fair condition but large sections of the flooring was covered with carpeting and the condition of the flooring could not be determined

Floor tiles have several cracks.



3.2 Item 1 (Picture)

3.3 Steps, Stairways, and Railings

Comments: Inspected

3.4 Kitchen Cabinets

Comments: Inspected

3.5 Kitchen Countertops

Comments: Inspected

3.6 Windows

Comments: Repair or Replace

Several windows were difficult to operate and are in need of repair or replacement

1st floor stain glass window is in poor condition and is in need of restoration or replacement



1st floor stain glass window is in poor condition and is in need of restoration or replacement

3.6 Item 1 (Picture)

3.7 Bathroom millwork, medicine cabinets, vanities, and accesories

Comments: Inspected

Bathroom millwork shows minor signs of wear and tear but are in working order

3.8 Peeling paint with potential for lead

Comments: Undetermined

Paint pre 1980 may contain lead, therefore it is important to address any signs of peeling or cracking paint with caution and to have it repaired by a lead certified painting contractor.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:	Exhaust Fans:
Unknown	None

Items

4.0 Bathroom Exhaust Ventilation

Comments: Not Present

1st floor and basement bathrooms have no ventilation, This creates conditions for mildew and mold growth

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Basement / Crawl space

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Items

5.0 Presence of Elevated Moisture at Floors or Walls


Comments: Monitor and Maintain

Sections of basement that were water damaged tested dry at the time of inspection, these areas should be monitored.

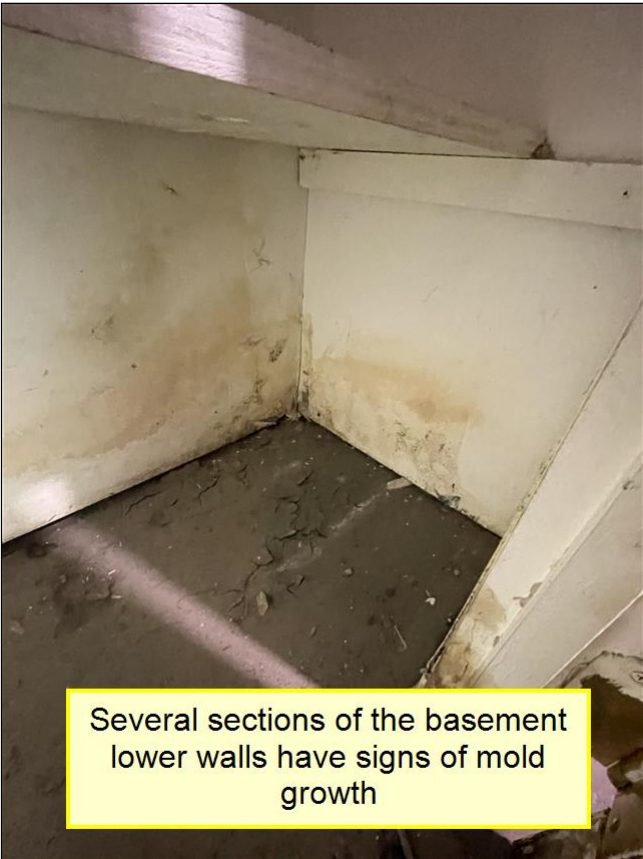
5.1 Signs of Moisture Damage or Mold

Comments: Repair or Replace

Several sections of the basement have signs of mold growth and water damage



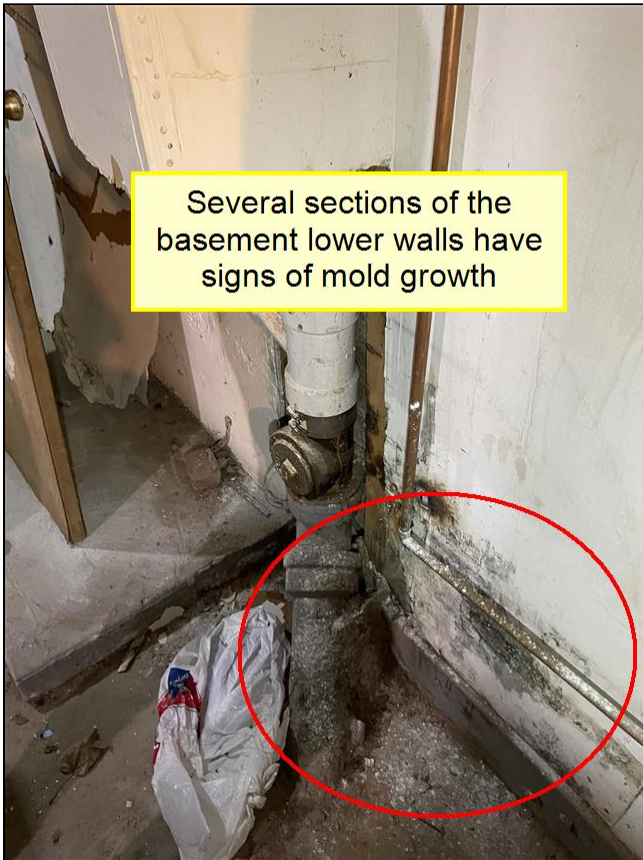
Several sections of the basement lower walls have signs of mold growth



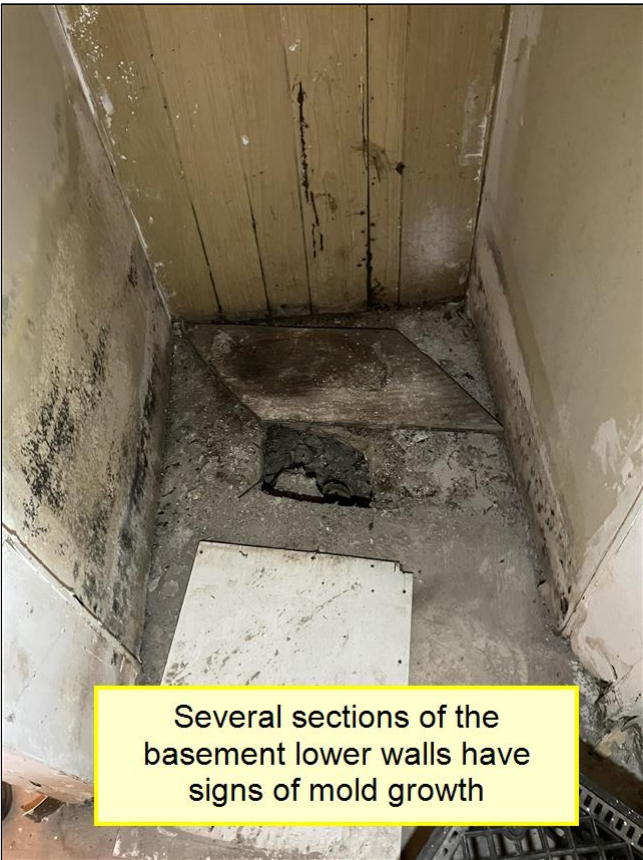
Several sections of the basement lower walls have signs of mold growth

5.1 Item 1 (Picture)

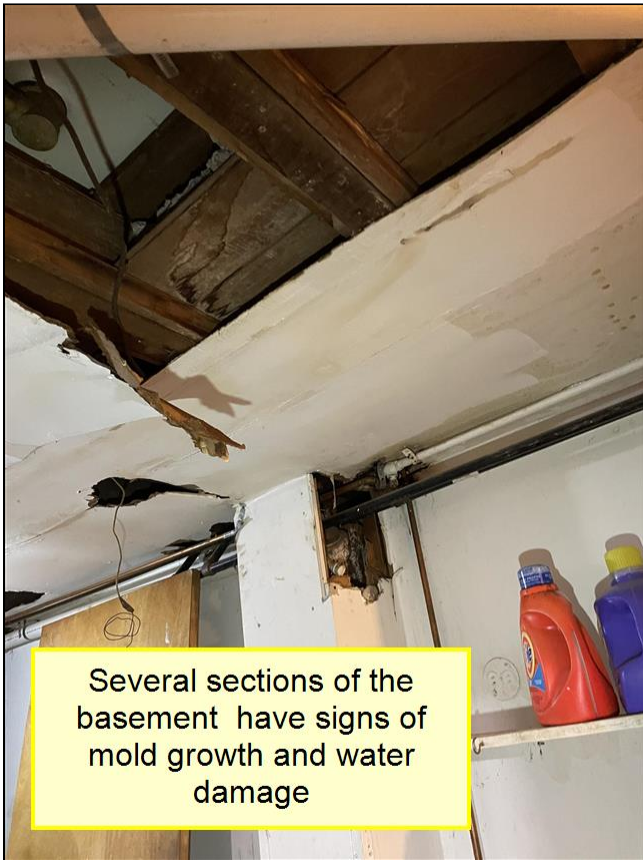
5.1 Item 2 (Picture)



5.1 Item 3 (Picture)



5.1 Item 4 (Picture)



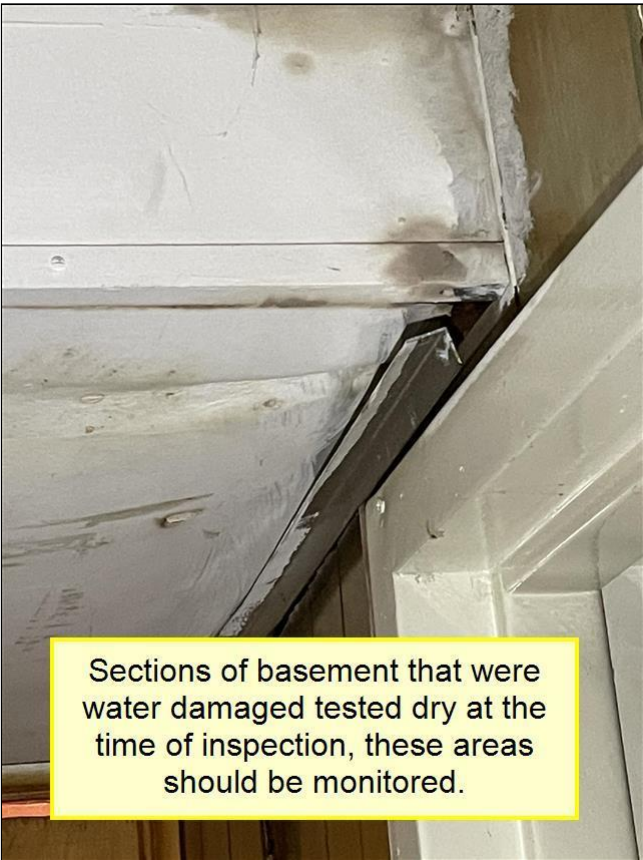
5.1 Item 5 (Picture)



5.1 Item 6 (Picture)



5.1 Item 7 (Picture)



5.1 Item 8 (Picture)

5.2 Sump Pump

Comments: Not Present

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Heating

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Number of Heat Systems:	Heating System:
Two	Indendent Gas Fired Hydronic Boilers to Each Unit

Items

6.0 Heating Equipment

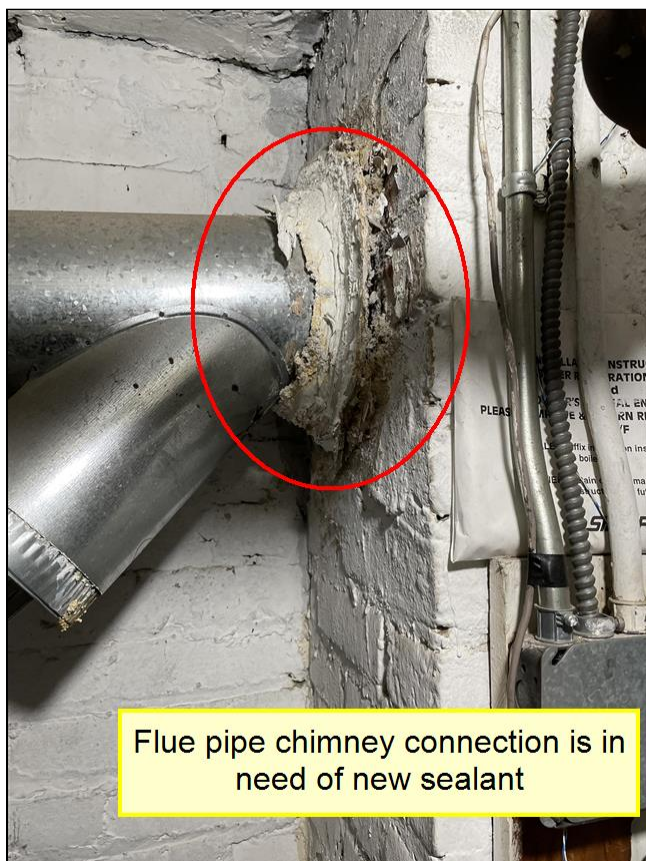
Comments: Inspected, Monitor and Maintain

Boiler was in working order but is an older unit and may be nearing the end of its lifespan, It is recommended that a service contract is set up with a plumbing and heating company so the unit can be properly monitored and maintained

6.1 Boiler exhaust piping to chimeny

Comments: Repair or Replace

Flue pipe chimney connection is in need of new sealant

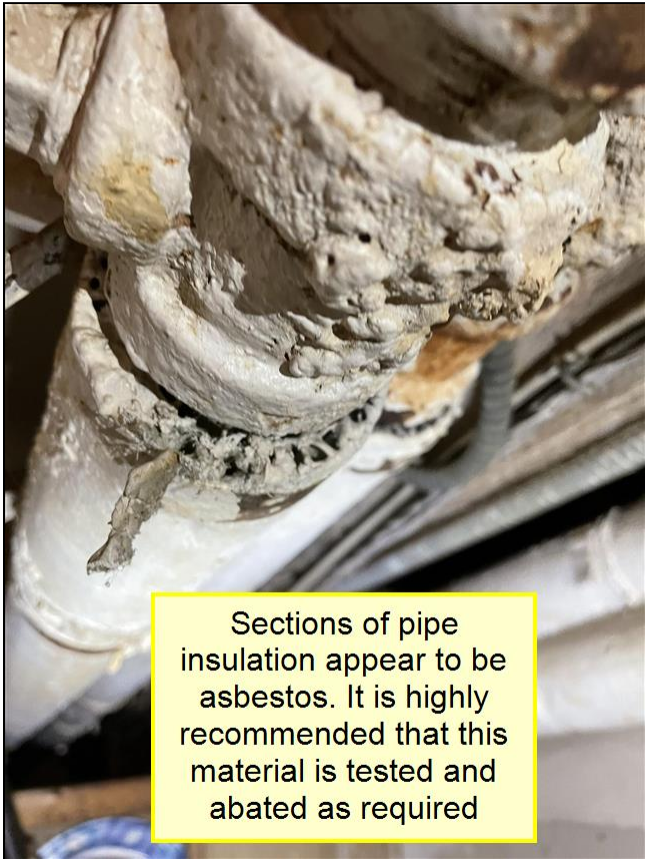


6.1 Item 1 (Picture)

6.2 Heating Pipe Insulation

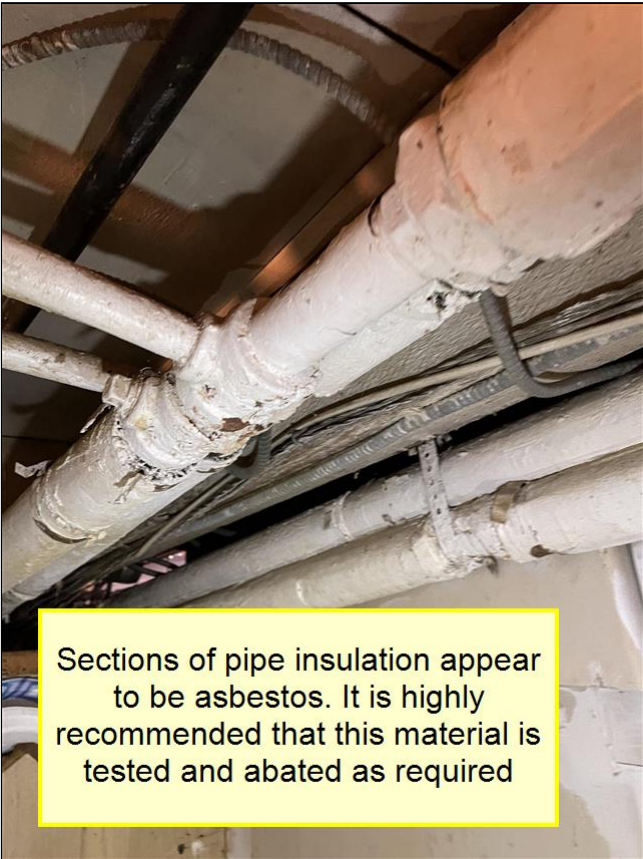
Comments: Monitor and Maintain

Sections of pipe insulation appear to be asbestos. It is highly recommended that this material is tested and abated as required



Sections of pipe insulation appear to be asbestos. It is highly recommended that this material is tested and abated as required

6.2 Item 1 (Picture)



Sections of pipe insulation appear to be asbestos. It is highly recommended that this material is tested and abated as required

6.2 Item 2 (Picture)

6.3 Presence of Installed Heat Source in Each Room

Comments: Inspected

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Items

7.0 Air Conditioning Equipment

Comments: Not Present

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Water Source:	Plumbing Water Supply (into home):	Plumbing Waste:
Public	Copper	PVC
		Cast iron
Water Heater Power Source:	Water Heater Capacity:	
Gas	On demand linked to boiler	

Items

8.0 Plumbing Water Supply Piping System

Comments: Inspected

Plumbing supply piping is in working order, But piping is primarily original and is nearing the end of its lifespan and is due for replacement

8.1 Plumbing Drainage and Venting System

Comments: Inspected

Plumbing drain pipes are in working order, But piping is primarily original and is nearing the end of its lifespan and are due for replacement

Open sewer waste line in basement



8.1 Item 1 (Picture)

8.2 Hot water

Comments: Inspected

8.3 Water Main

Comments: Inspected

8.4 Sump Pump/ Ejector pump

Comments: Not Present

8.5 Dehumidifier

Comments: Not Present

Installation of dehumidifier in a basement can help improve air quality and prevent humid air from condensation from forming on cool surfaces

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Electrical Service Conductors:	Panel Capacity:	Panel Type:
Below ground	100 AMP	Circuit breakers
<i>Items</i>		

9.0 Note

Comments: Repair or Replace

Wiring in the home is primarily original and does not meet current safety standards. Upgrading electrical system should be a prioritized in a renovation building upgrade schedule

9.1 Main and Distribution & Circuit Braker Panels

Comments: Inspected, Requires Professional Evaluation & Repairs

Circuit breaker panels for the apartment units are all in the basement. This creates an access problem for tenants if a breaker trips. Upgrading system to independent sub-panels in each unit is recommended

Building only has 100 amp service. This is not enough amperage to meet current modern home usage. Upgrading to 200 amp service is recommended.

9.2 Grounding of Main Service at Water Main or Grounding Rod

Comments: Repair or Replace

Grounding wire is not connected to the water main. This creates a hazardous condition and should be repaired immediately



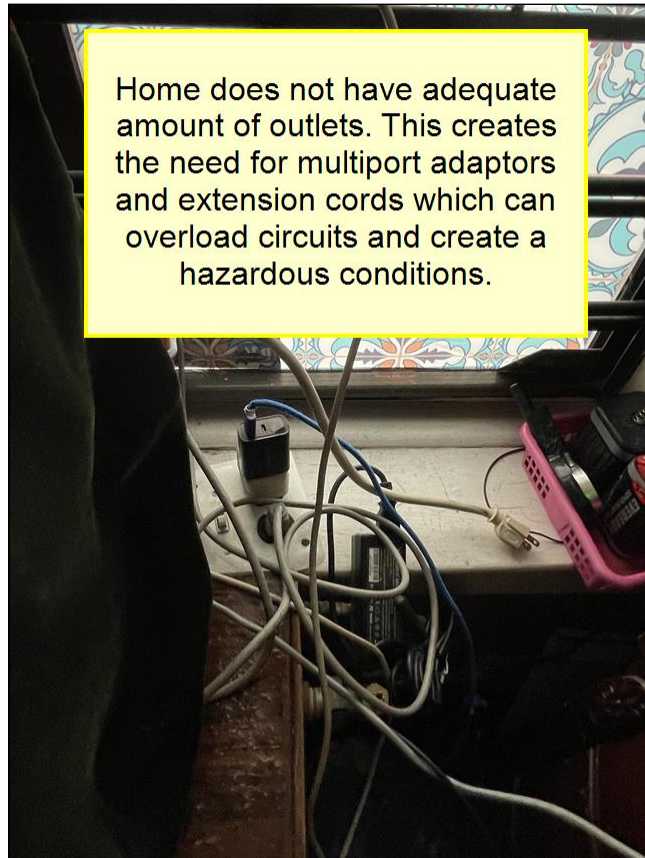
9.2 Item 1 (Picture)

9.3 Sufficient outlets and spacing

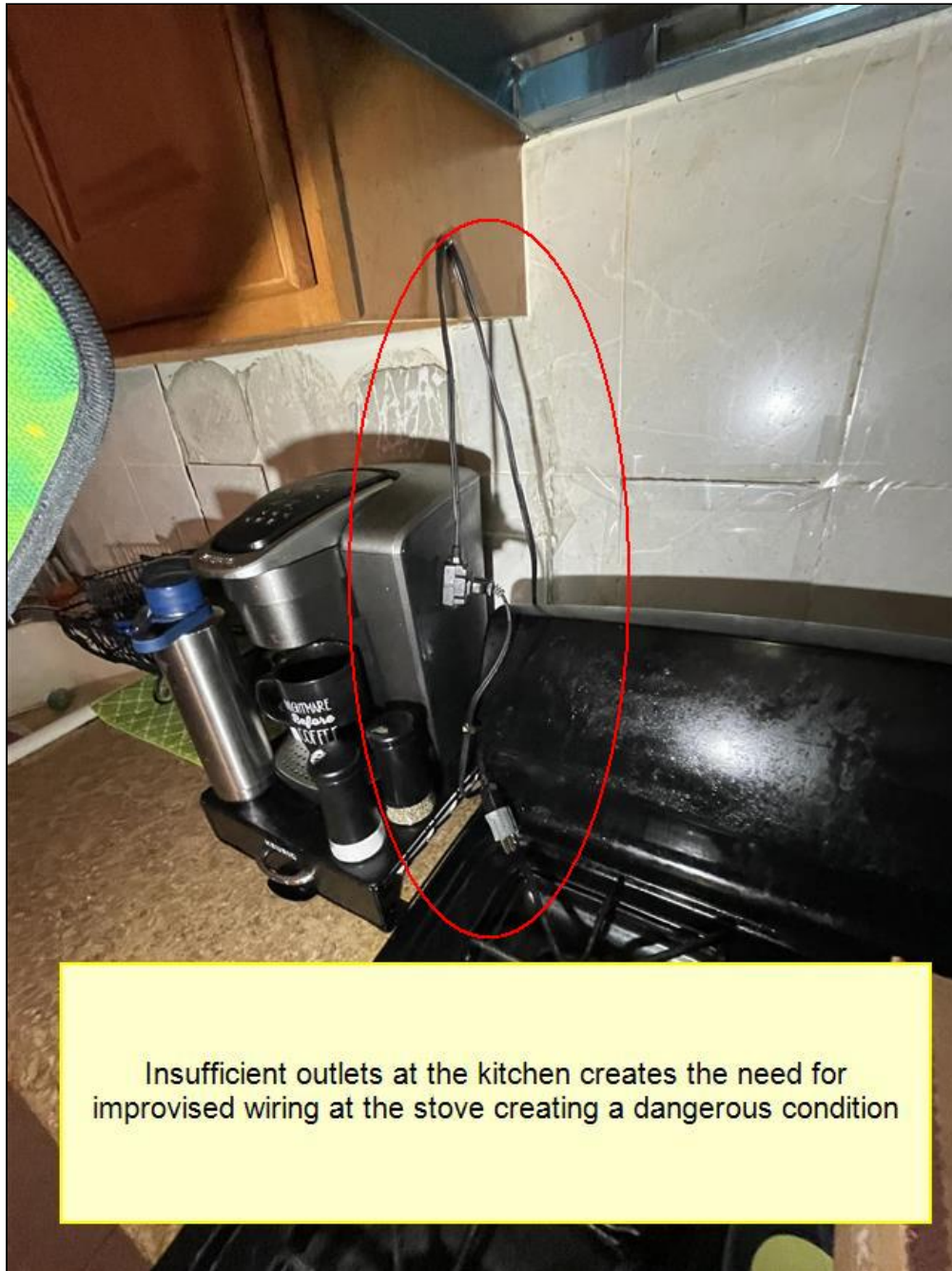
Comments: Not Present, Safety

Home does not have adequate amount of outlets. This creates the need for multiport adaptors and extension cords which can overload circuits and create a hazardous conditions.

Insufficient outlets at the kitchen creates the need for improvised wiring at the stove creating a dangerous condition



9.3 Item 1 (Picture)



9.3 Item 2 (Picture)

9.4 Polarity and Grounding of Receptacles.

Comments: Inspected, Not Present

Many of the outlets do not have a ground port

9.5 GFCI Outlets in Required Locations

Comments: Not Present

9.6 Smoke and Carbon Monoxide Detectors

Comments: Not Inspected

Smoke and Carbon Monoxide detectors were not tested because it was unknown if these were connected to a central station monitoring system, and to prevent a false alarm to neighbors.

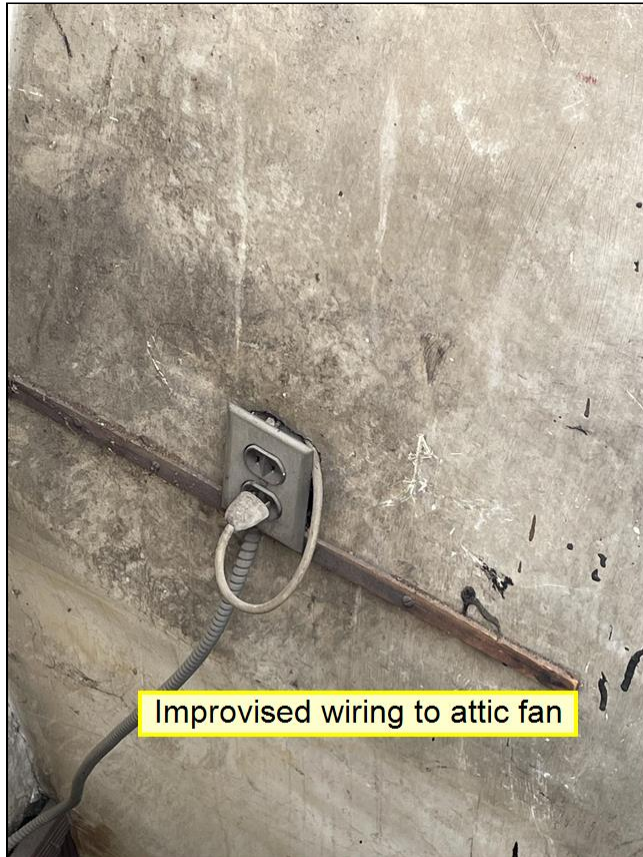
It is highly recommend that devices have new batteries installed and are tested upon occupancy

9.7 Improvised wiring

Comments: Repair or Replace

Improvised wiring to attic fan

Improvised wiring below basement stairs



9.7 Item 1 (Picture)



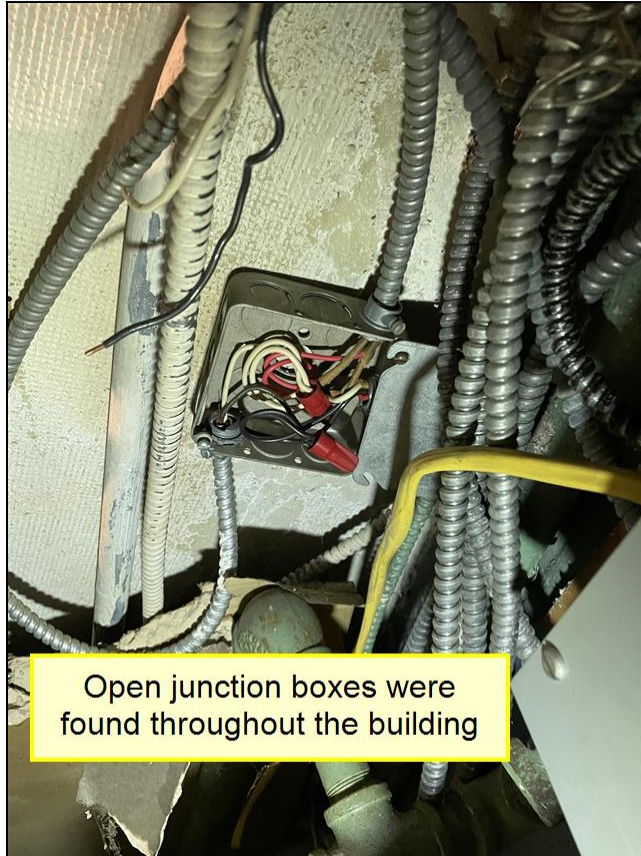
9.7 Item 2 (Picture)

9.8 Open Junction boxes and Missing cover plates

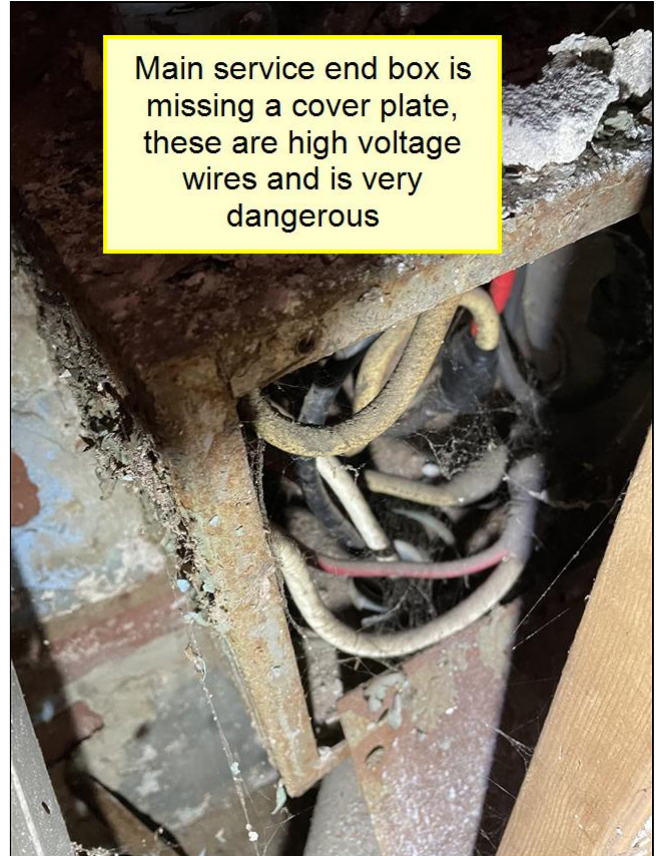
Comments: Repair or Replace

Open junction boxes were found throughout the building

Main service end box is missing a cover plate, these are high voltage wires and is very dangerous



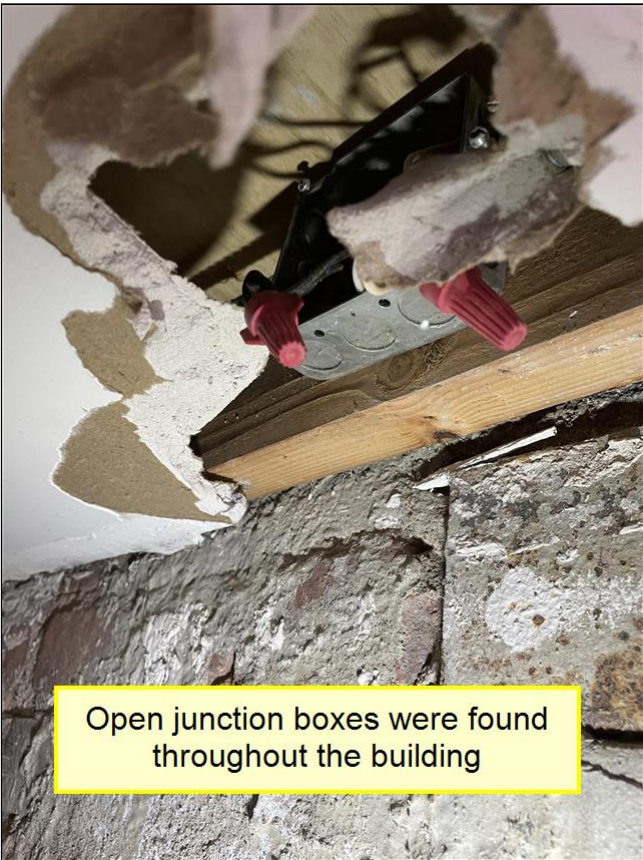
9.8 Item 1 (Picture)



9.8 Item 2 (Picture)



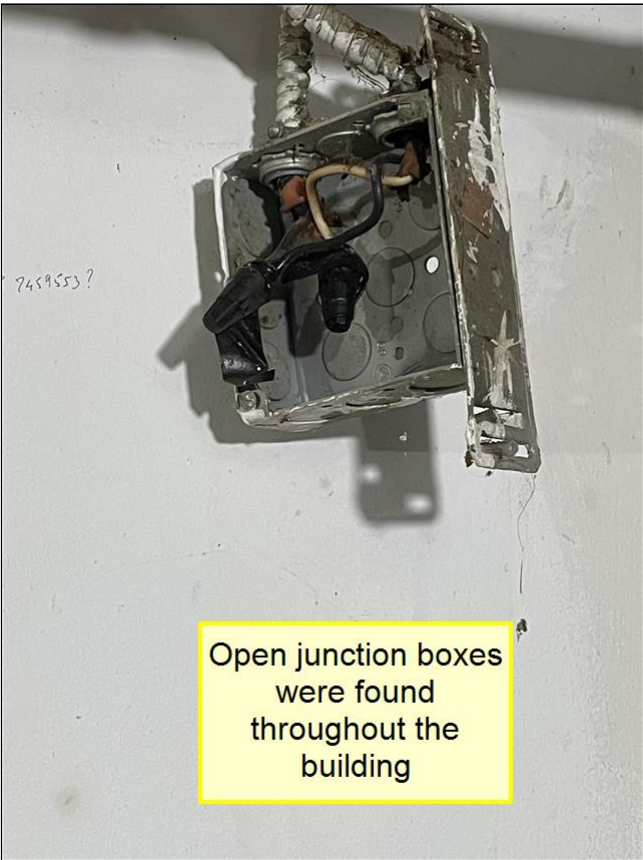
9.8 Item 3 (Picture)



9.8 Item 4 (Picture)



9.8 Item 5 (Picture)



9.8 Item 6 (Picture)

.....

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Foundation:
Brick

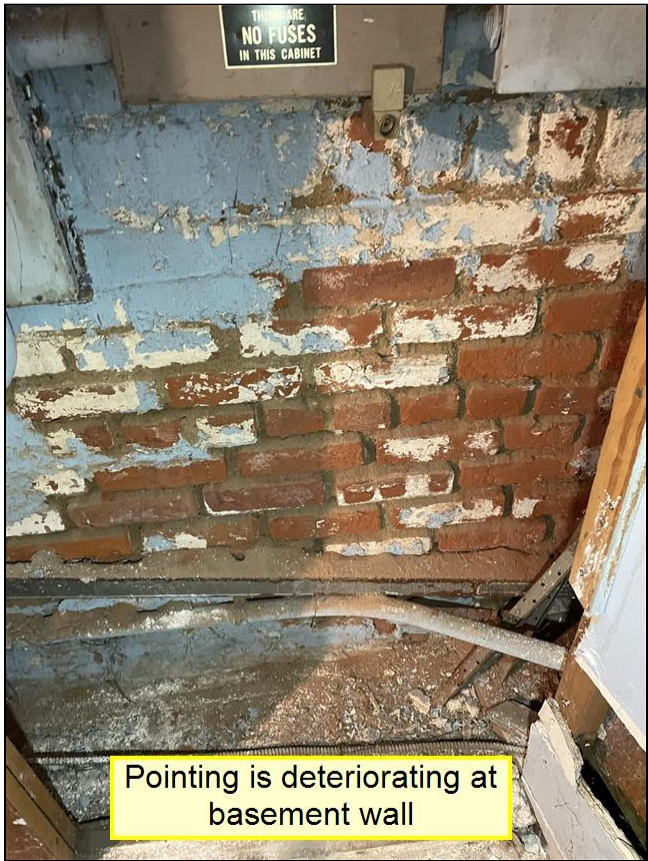
Roof-Type:
Flat

Items

10.0 Foundations,
Comments: Inspected

(1)

Pointing is deteriorating at basement wall



10.0 Item 1 (Picture)

(2) Foundation walls are in good condition and no structural concerns were observed

10.1 Structural walls

Comments: Inspected

Structural walls are in good condition and no structural concerns were observed

10.2 Floors (Structural)

Comments: Inspected

Minor deflection in the floors was observed, but this is not a structural concern.

10.3 Insect Damage or Infestation / Termites, Ants, Etc.

Comments: Repair or Replace, Requires Professional Evaluation & Repairs

Termite damage was observed at basement floor joists. The extent of damage in other areas is undetermined. It is highly recommended that a pest management company is brought in to begin a treatment program



10.3 Item 1 (Picture)

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Summary



Criterion Home Inspections

CRITERION HOME INSPECTIONS

Customer

Example Bayridge

Address

73rd Street
Brooklyn NY 11209

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Exterior

1.1 Retaining walls

Repair or Replace

Rear cinder block wall is at the verge of collapsing. This is a very dangerous condition that is in need of immediate repair

1.3 General Exterior Masonry

Repair or Replace

Open gaps and cracks in masonry are in need of repair

1.4 Brick Pointing

Repair or Replace

Brick pointing is in overall good condition, but rear corner below the parapet is in need of pointing repair

1.6 Exterior window frames and sashes

Repair or Replace

Rear basement windows frames are deteriorating and are in need of restoration or replacement

1.7 Exterior window Sills and Lintels

Repair or Replace, Monitor and Maintain

Steel window lintels are rusting and beginning to sag, This is not a structural at this time, but they should be monitored and replacement should be part of a long term maintenance schedule. At this time they should be painted to prevent further corrosion

Section of rear 2nd floor masonry window sill is missing

Lower rear masonry window sill is deteriorating

1.8 Stoop- Exterior Staircases

Repair or Replace

Stoop wall is in poor condition and is in need of repair

Lower level staircase has cracks and is in need of repair

1.10 Cornice

Repair or Replace, Monitor and Maintain

Cornice is rusting and has significant peeling paint and is in need of maintenance and repairs

2. Roofing

2.0 Roof Coverings

Repair or Replace, Monitor and Maintain

(1) Roof covering is crackling which is an indication that the material is nearing the end of its lifespan and is due for replacement.

An application of roofing cement at all seams and an application of aluminium coating can help extend the life of the roof, but roof replacement should be part of a building maintenance schedule

(2) Rear section of the roof has low spots which create pooling water. Pooling water will accelerate the break down of the roofing materials and will be an area that will be prone to leaking. This are should be monitored and maintained

(3) Roof covering is crackling which is an indication that the material is nearing the end of its lifespan and is due for replacement.

An application of roofing cement at all seams and an application of aluminium coating can help extend the life of the roof, but roof replacement should be part of a building maintenance schedule

(4) Rear section of the roof has low spots which create pooling water. Pooling water will accelerate the break down of the roofing materials and will be an area that will be prone to leaking. This are should be monitored and maintained

(5) Roof covering is crackling which is an indication that the material is nearing the end of its lifespan and is due for replacement.

An application of roofing cement at all seams and an application of aluminium coating can help extend the life of the roof, but roof replacement should be part of a building maintenance schedule

Rear section of the roof has a low spot and pooling water. Pooling water will accelerate the breakdown of the roof covering and is an area that will be prone to leaking

2.1 Chimneys

Repair or Replace

Interior chimney brickwork is in poor condition and is in need of restoration,

Falling debris into the chimney can clog flue pipe and boiler exhaust and potentially cause the release of carbon monoxide into the living space

2.3 Parapet**Repair or Replace**

Section of coping stones are missing at the rear corner of the building

2.4 Roof hatch door**Repair or Replace**

Roof hatch door should be upgraded to a metal hatch with a hydraulic lift when renovations are performed

3. Interiors

3.1 Ceiling & Walls**Inspected, Repair or Replace**

Ceilings and walls are in fair condition but show signs of wear and tear and require painting and plaster repairs

3.2 Flooring**Inspected, Repair or Replace, Undetermined**

Flooring was in overall fair condition but large sections of the flooring was covered with carpeting and the condition of the flooring could not be determined

Floor tiles have several cracks.

3.6 Windows**Repair or Replace**

Several windows were difficult to operate and are in need of repair or replacement

1st floor stain glass window is in poor condition and is in need of restoration or replacement

5. Basement / Crawl space

5.1 Signs of Moisture Damage or Mold**Repair or Replace**

Several sections of the basement have signs of mold growth and water damage

6. Heating

6.1 Boiler exhaust piping to chimney**Repair or Replace**

Flue pipe chimney connection is in need of new sealant

9. Electrical System

9.0 Note

Repair or Replace

Wiring in the home is primarily original and does not meet current safety standards. Upgrading electrical system should be a prioritized in a renovation building upgrade schedule

9.2 Grounding of Main Service at Water Main or Grounding Rod

Repair or Replace

Grounding wire is not connected to the water main. This creates a hazardous condition and should be repaired immediately

9.7 Improvised wiring

Repair or Replace

Improvised wiring to attic fan

Improvised wiring below basement stairs

9.8 Open Junction boxes and Missing cover plates

Repair or Replace

Open junction boxes were found throughout the building

Main service end box is missing a cover plate, these are high voltage wires and is very dangerous

10. Structural Components

10.3 Insect Damage or Infestation / Termites, Ants, Etc.

Repair or Replace, Requires Professional Evaluation & Repairs

Termite damage was observed at basement floor joists. The extent of damage in other areas is undetermined. It is highly recommended that a pest management company is brought in to begin a treatment program

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Ralph Hassard



INVOICE

Criterion Home Inspections
CRITERION HOME INSPECTIONS
Inspected By: Ralph Hassard

Inspection Date: 3/10/2022
Report ID: 73rd Street

Customer Info:	Inspection Property:
Example Bayridge	73rd Street Brooklyn NY 11209
Customer's Real Estate Professional:	

Inspection Fee:			
Service	Price	Amount	Sub-Total
			Tax \$0.00
			Total Price \$0.00

Payment Method:
Payment Status:
Note:



Criterion Home Inspections

Ralph Hassard

CRITERION HOME INSPECTIONS

