



Ralph Hassard

16000076462

CRITERION HOME INSPECTIONS

Inspection Report

Free standing home Inspection Report

Property Address:
19 Cornell Drive
Great Neck NY 11020



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Date: 4/29/2021	Time: 05:30 PM	Report ID: Sample
Property: 19 Cornell Drive Great Neck NY 11020	Customer: Free standing home Inspection Report	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Monitor and Maintain (MM) = This item should be monitored and maintained, and is not currently in need of replacement or repair.

Undetermined (UDT) = Inspector was unable to determine the status of this item

Type of building:

Single Family (2 story)

Approximate age of building:

Over 50 Years

Ground/Soil surface condition:

Damp

1. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Roof Covering:

Architectural

Viewed roof covering from:

Ground

Chimney (exterior):

Brick

Items

1.0 Roof Coverings

Comments: Inspected

1.1 Roof drainage

Comments: Repair or Replace

Drain pipes should be moved further away from the house



1.1 Item 1 (Picture)



1.1 Item 2 (Picture)



1.1 Item 3 (Picture)

1.2 Chimneys

Comments: Inspected

1.3 Flashing

Comments: Inspected

1.4 Roof Penetrations

Comments: Inspected

1.5 Fascia

Comments: Repair or Replace

Fascia is in need of maintenance and painting throughout



1.5 Item 1 (Picture)



1.5 Item 2 (Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Material:

Vinyl
Full brick
Stone

Items

2.0 Brick Pointing

Comments: Inspected

2.1 Doors, (Exterior)

Comments: Inspected

2.2 Building penetrations

Comments: Inspected

2.3 Exterior window components

Comments: Inspected, Monitor and Maintain

Steel window lintel is slightly sagging and is also in need of painting.

This is not a current structural concern but this item should be monitored and repaired if further sagging occurs

Basement window well covers are broken. Window wells should be cleaned of debris and drains should be kept clean.



2.3 Item 1 (Picture)



2.3 Item 2 (Picture)



2.3 Item 3 (Picture)

2.4 Stoops, Railings, Staircases

Comments: Inspected

2.5 Cornice

Comments: Undetermined

2.6 Siding

Comments: Inspected

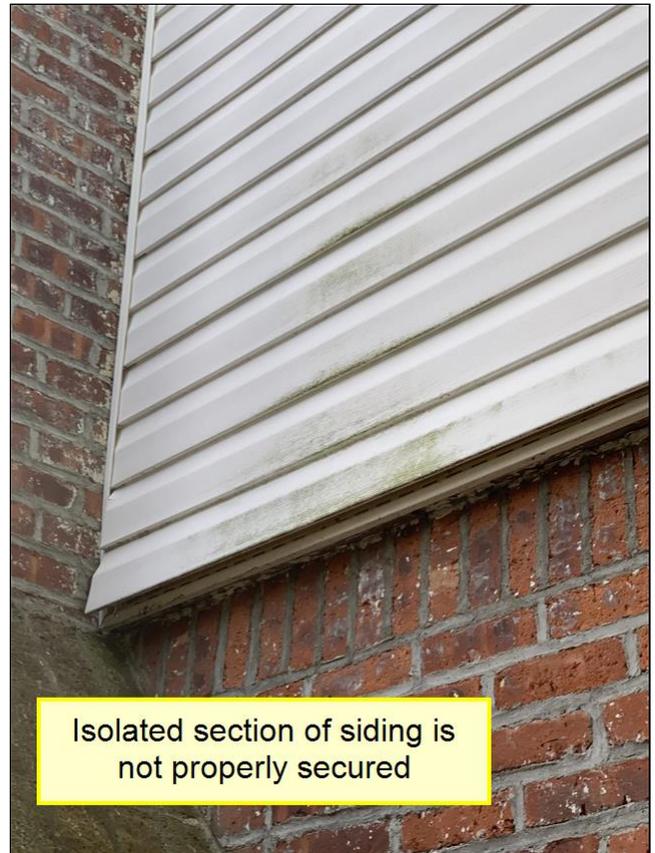
Siding is in overall good condition

Isolated section of siding is not properly secured

Mildew is growing on the siding and is in need of cleaning



2.6 Item 1 (Picture)



2.6 Item 2 (Picture)

2.7 Masonry / Exterior

Comments: Inspected

2.8 Vegetation- trees , shrubs effecting property and building

Comments: Inspected

Overhanging tree poses a potential danger and should be removed

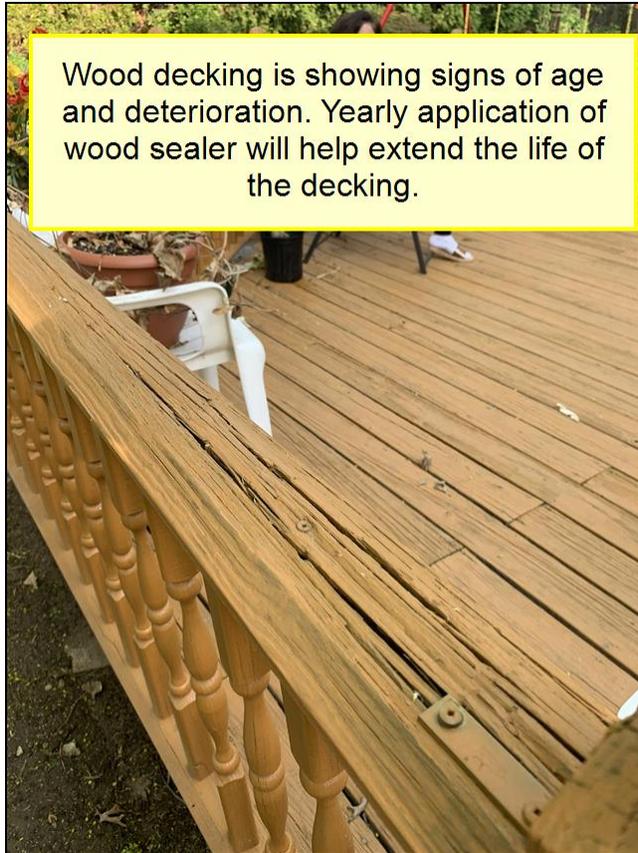


2.8 Item 1 (Picture)

2.9 Deck

Comments: Monitor and Maintain

Wood decking is showing signs of age and deterioration. Yearly application of wood sealer will help extend the life of the decking.



2.9 Item 1 (Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

Styles & Materials

Garage Door Type:

One automatic

Items

3.0 Garage roof

Comments: Inspected

3.1 Garage Door

Comments: Inspected

3.2 Garage Walls

Comments: Inspected

3.3 Garage Floor

Comments: Inspected

3.4 Garage Door Operators (Report whether or not doors will reverse when met with resistance)

Comments: Inspected

4. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Gypsum Board
Plaster

Wall Material:

Gypsum Board
Plaster

Floor Covering(s):

Tile
Wood

Items

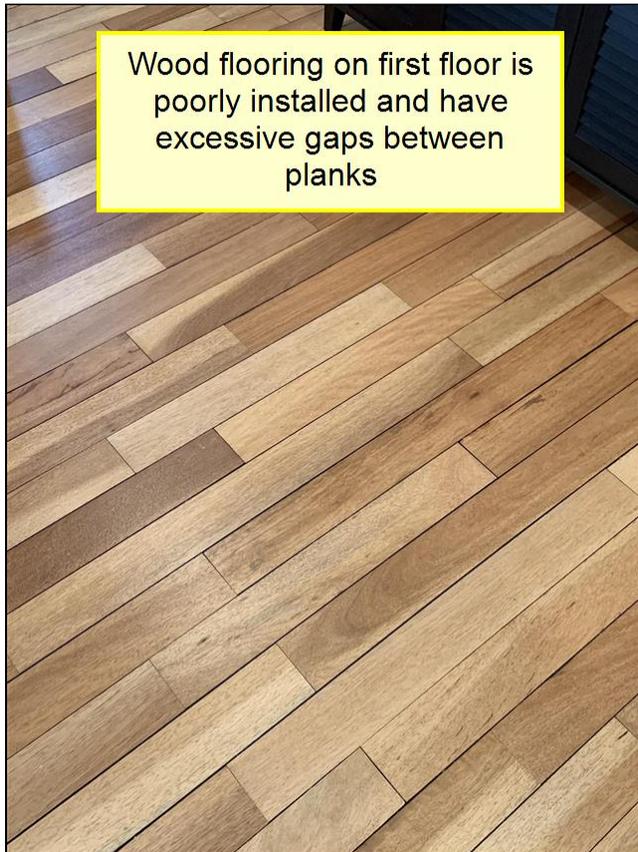
4.0 Ceiling & Wall Finishes

Comments: Inspected

4.1 Floors

Comments: Inspected

Wood flooring is in good condition overall but the wood flooring on first floor is poorly installed and have excessive gaps between planks



4.1 Item 1 (Picture)

4.2 Steps, Stairways, Balconies and Railings

Comments: Inspected

4.3 Counters and Cabinets (representative number)

Comments: Inspected

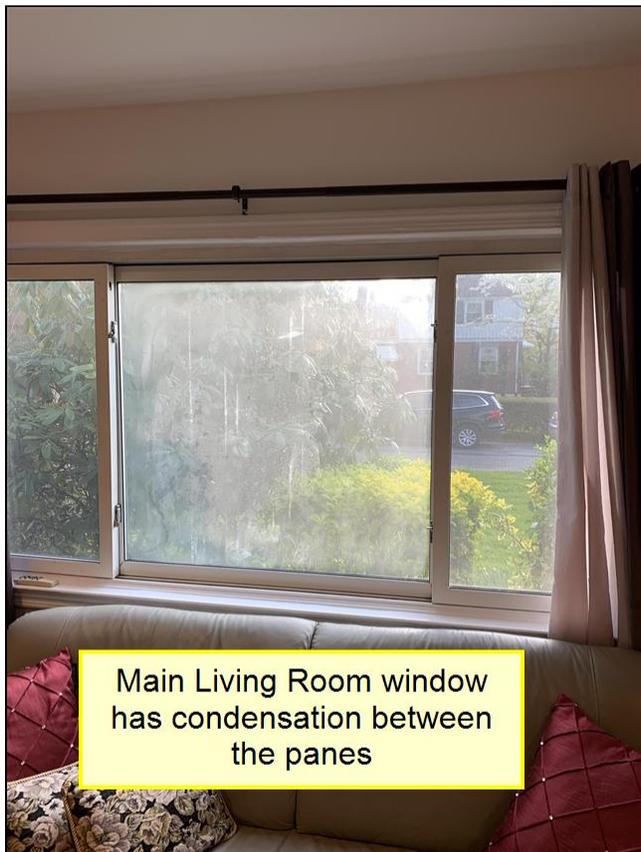
4.4 Doors (representative number)

Comments: Inspected

4.5 Windows (representative number)

Comments: Inspected, Repair or Replace

Main Living Room window has condensation between the panes



4.5 Item 1 (Picture)

4.6 Moldings

Comments: Inspected

4.7 Bathroom tile

Comments: Inspected

4.8 Bathroom millwork, medicine cabinets, vanities, and accessories

Comments: Inspected

4.9 Bathroom plumbing fixtures

Comments: Inspected

4.10 closet interiors

Comments: Inspected

4.11 Shower walls

Comments: Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Foundation:

Masonry block
Poured concrete

Items

5.0 Notes

Comments: Inspected

No Structural concerns were observed

5.1 Foundations,

Comments: Inspected

No Structural concerns were observed

5.2 Floor Joists

Comments: Inspected

No Structural concerns were observed

5.3 Structural walls

Comments: Inspected

5.4 Floors (Structural)

Comments: Inspected

No Structural concerns were observed

5.5 Insect Damage or Infestation / Termites, Ants, Etc.

Comments: Not Present

No Signs of termites or other wood destroying insects were observed

5.6 Insect rodent infestation

Comments: Not Present

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Water Source: Public	Plumbing Water Supply (into home): Copper	Plumbing Water Distribution (inside home): Copper
Water Heater Power Source: Gas	Water Heater Capacity: 65 Gallon	

Items

6.0 Plumbing Drain, Waste and Vent Systems

Comments: Inspected

6.1 Plumbing Water Supply, Distribution System and Fixtures

Comments: Inspected

6.2 Hot water

Comments: Inspected

6.3 Water Main

Comments: Inspected

6.4 Toilets

Comments: Inspected

6.5 Piping supports

Comments: Inspected

6.6 Sump Pump/ Ejector pump

Comments: Inspected

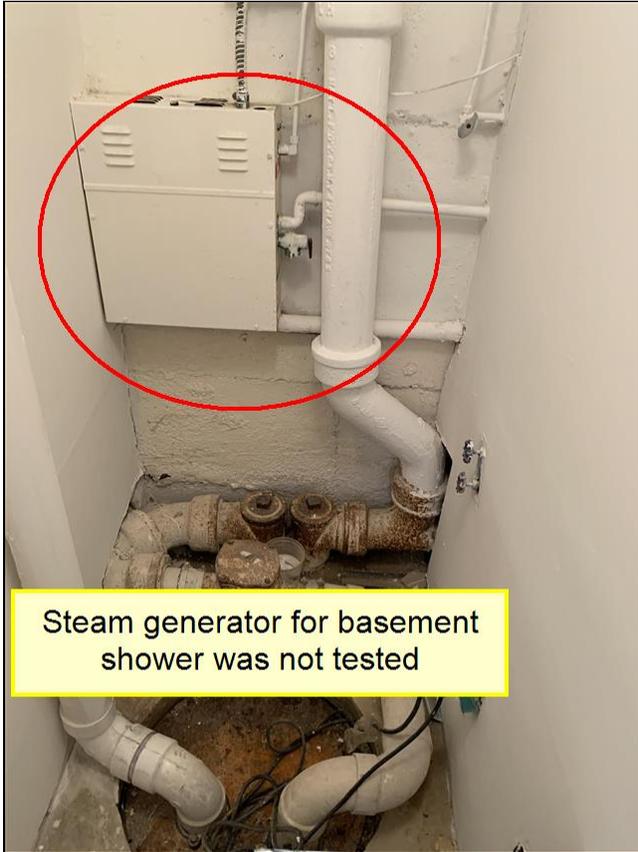
6.7 Dehumidifier

Comments: Not Inspected

6.8 Steam generator

Comments: Not Inspected

Steam generator for basement shower was not tested

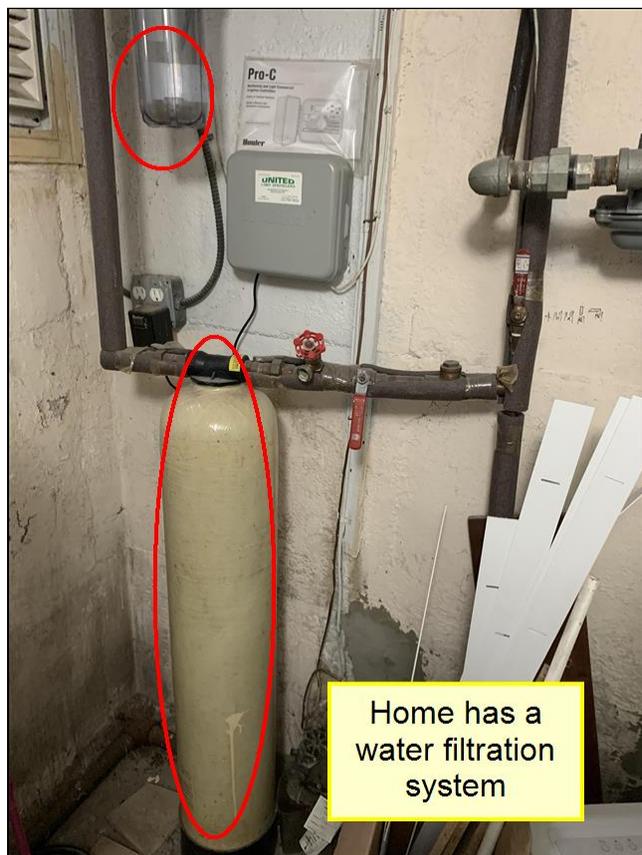


6.8 Item 1 (Picture)

6.9 Water Filtration System

Comments: Not Inspected, Monitor and Maintain

Home has a water filtration system, Filters should be changed according to manufacturers specifications



6.9 Item 1 (Picture)

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Electrical Service Conductors:

Overhead service

Panel Capacity:

200 AMP

Panel Type:

Circuit breakers

Wiring Methods:

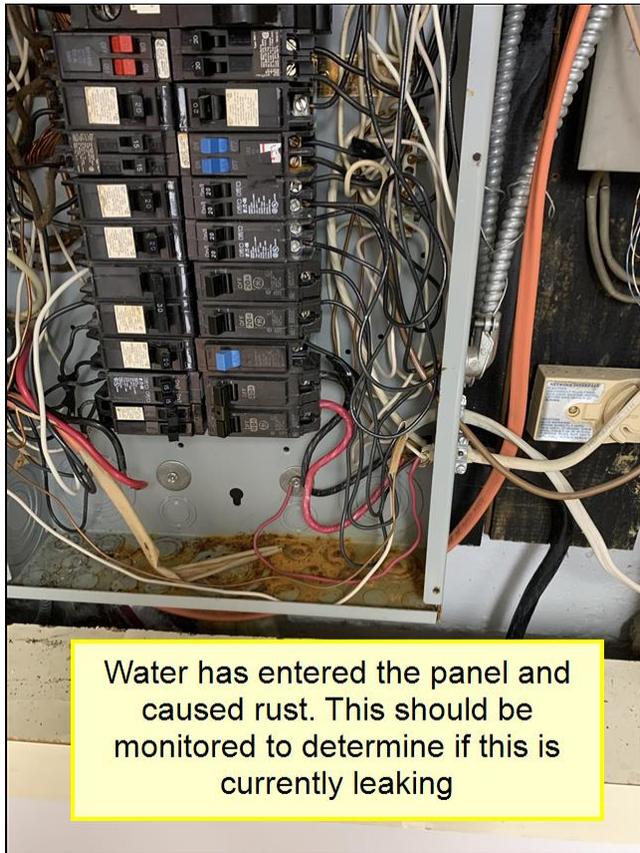
BX

Items

7.0 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

Comments: Inspected, Monitor and Maintain

Water has entered the panel and caused rust. This should be monitored to determine if this is currently leaking



7.0 Item 1 (Picture)

7.1 Service Entrance Conductors

Comments: Inspected

7.2 Service and Grounding

Comments: Inspected

7.3 Branch circuit wiring

Comments: Inspected

7.4 Sufficient outlets and spacing

Comments: Inspected

7.5 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house,

Comments: Inspected

7.6 Polarity and Grounding of Receptacles.

Comments: Inspected

7.7 Improvised wiring

Comments: Inspected, Repair or Replace

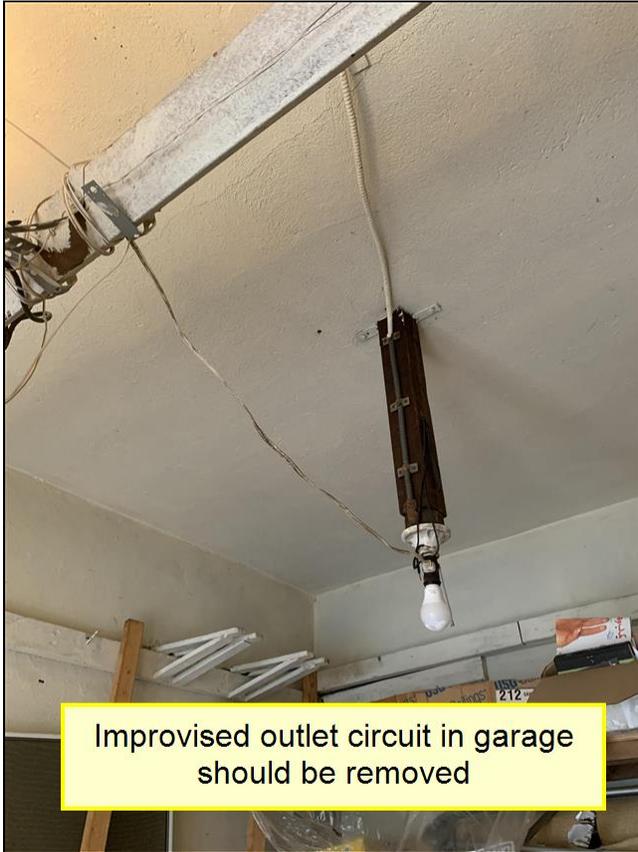
Improvised wiring in garage should be removed



7.7 Item 1 (Picture)



7.7 Item 2 (Picture)



7.7 Item 3 (Picture)

7.8 Lighting and switches

Comments: Inspected

7.9 Open Junction boxes

Comments: Repair or Replace

Outlets plumbing closet in basement are missing



Open outlet box/ missing cover plate

7.9 Item 1 (Picture)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Heating and Cooling

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Heat Type:	Number of Heat Systems (excluding wood):	Cooling Equipment Type:
Gas Steam boiler	One	Window AC

Items

8.0 Heating Equipment

Comments: Inspected

8.1 Normal Operating Controls

Comments: Inspected

8.2 Automatic Safety Controls

Comments: Inspected

8.3 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

8.4 Presence of Installed Heat Source in Each Room

Comments: Inspected

8.5 Chimneys, Flues

Comments: Inspected, Repair or Replace

Improvised supports for hot water heater flue should be corrected



8.5 Item 1 (Picture)

8.6 Solid Fuel Heating Devices (Fireplaces, Woodstove)

Comments: Inspected

8.7 Cooling and Air Handler Equipment

Comments: Not Present

8.8 Boiler/ Mechanical Room

Comments: Inspected

Mechanical room should not be used as a storage area

8.9 Radiators

Comments: Inspected

8.10 Built in humidifier

Comments: Not Present

Installing a humidifier in the basement is recommended

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Ventilation:

Passive

Items

9.0 Ventilation

Comments: Inspected

9.1 Attic insullation

Comments: Undetermoned

9.2 Ventilation of Attic

Comments: Inspected

9.3 Venting Systems (Kitchens, Baths)

Comments: Inspected

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Items

10.0 Dishwasher

Comments: Inspected

10.1 Ranges/Ovens/Cooktops

Comments: Inspected

10.2 Range Hood (s)

Comments: Inspected

10.3 Refrigerator

Comments: Inspected

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Summary



CRITERION HOME INSPECTIONS

CRITERION HOME INSPECTIONS

Customer

Free standing home Inspection Report

Address

19 Cornell Drive
Great Neck NY 11020

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.1 Roof drainage

Repair or Replace

Drain pipes should be moved further away from the house

1.5 Fascia

Repair or Replace

Fascia is in need of maintenance and painting throughout

4. Interiors

4.5 Windows (representative number)

Inspected, Repair or Replace

Main Living Room window has condensation between the panes

7. Electrical System

7.7 Improvised wiring

Inspected, Repair or Replace

Improvised wiring in garage should be removed

7.9 Open Junction boxes

Repair or Replace

Outlets plumbing closet in basement are missing

8. Heating and Cooling

8.5 Chimneys, Flues

Inspected, Repair or Replace

Improvised supports for hot water heater flue should be corrected

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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INVOICE

CRITERION HOME INSPECTIONS
 CRITERION HOME INSPECTIONS
 Inspected By: Ralph Hassard

Inspection Date: 4/29/2021
 Report ID: Sample

Customer Info:	Inspection Property:
Free standing home Inspection Report	19 Cornell Drive Great Neck NY 11020
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
ENTIRE HOME	575.00	1	575.00
			Tax \$0.00
			Total Price \$575.00

Payment Method: Cash
Payment Status: Paid At Time Of Inspection
Note:



CRITERION HOME INSPECTIONS

Ralph Hassard

CRITERION HOME INSPECTIONS

